

**ALBERTA GOVERNMENT SERVICES  
LAND TITLES OFFICE**

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**152240858**

**ORDER NUMBER: 29350902**

**ADVISORY**

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**ROYAL OAKS STAGE 4 RESTRICTIVE COVENANT**

TO : THE REGISTRAR  
OF THE NORTH ALBERTA LAND REGISTRATION  
DISTRICT LAND TITLES OFFICE  
EDMONTON, ALBERTA

WHEREAS:

- A. CANCOM DEVELOPMENT LTD. and 1886290 ALBERTA LTD. are the registered owners of the Dominant Lands and the Servient Lands described in Schedule "A" hereto situate in the County of Leduc.
- B. CANCOM DEVELOPMENT LTD. and 1886290 ALBERTA LTD. intend to impose a scheme of mutually enforceable restrictions with respect to the use and improvements of the Lands and buildings thereon in order to preserve the integrity of the Subdivision.

NOW THEREFORE CANCOM DEVELOPMENT LTD. and 1886290 ALBERTA LTD. do hereby declare, establish, impose and annex to the Servient Lands and each and every portion thereof for the benefit of the Dominant Lands, the following stipulations, restrictions and provisions to run with the Lands and be binding upon the registered owners from time to time of the Lots:

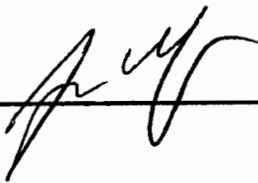
1. In this Restrictive Covenant, including the preamble, the following words and expressions shall have the meaning herein set forth:
- (a) **"Association"** means Royal Oaks Leduc County Homeowners Association;
  - (b) **"Disturbed Soil Restrictions"** means the restrictions, limitations and provisions so identified and set forth in Schedule "A" hereto;
  - (c) **"Dominant Lands"** means:
    - (i) for Disturbed Soil Restrictions means the lands so identified in Schedule "A" hereto;
    - (ii) for Fencing Restrictions means the lands identified in Schedule "B" hereto; and
    - (iii) for the Stage 4 Architectural Guidelines means the lands so identified in Schedule "C" hereto;
  - (d) **"Fencing Restrictions"** means the restrictions, limitations and provisions set forth in Schedule "B" hereto;
  - (e) **"Grantee"** means Cancom Development Ltd. and 1886290 Alberta Ltd., and their successors in title to the Dominant Lands;

- (f) **"Grantor"** means Cancom Development Ltd. and 1886290 Alberta Ltd. and their successors in title to the Servient Lands;
  - (g) **"Lands"** means the Dominant Lands and Servient Lands described in Schedules "A", "B", and "C" hereto;
  - (h) **"Restrictions"** means the Stage 4 Architectural Guidelines, Disturbed Soil Restrictions, and the Fencing Restrictions as applied to each of the lands as set forth in Schedules "A", "B", "C" and "D" hereto;
  - (i) **"Restrictive Covenant"** means this agreement as the same may be amended from time to time and the expressions "herein", "hereof", "above", "below" and similar expressions if used in any article, section or paragraph of this agreement refers to this agreement including the schedules hereto and do not refer solely to a particular article, section or paragraph unless specifically stated herein;
  - (j) **"Servient Lands"** means:
    - (i) for Disturbed Soil Restrictions means the lands so identified in Schedule "A" hereto;
    - (ii) for Fencing Restrictions means the lands so identified in Schedule "B" hereto; and
    - (iii) for the Stage 4 Architectural Guidelines means the lands so identified in Schedule "C" hereto; and
  - (k) **"Stage 4 Architectural Design Guidelines"** means the restrictions, limitations and provisions so identified and attached hereto as Schedule "D".
2. The Grantee as owner of the Servient Lands agrees on behalf of itself for the benefit of the Grantor, its successors and assigns that the Grantee shall not use, develop, or permit the use of development of the Lots except in accordance with the Restrictions applicable to such Lots.
3. If any of the Restrictions herein or the application thereof to any party or any circumstances shall be held by any court of competent jurisdiction to be invalid or unenforceable to any extent, then such Restriction shall be severed from the remainder of this Restrictive Covenant, and the remainder of this Restrictive Covenant or application of such Restriction to a party or circumstances other than to those to which it is held invalid or unenforceable shall not be affected thereby and each of the remaining Restrictions of this Restrictive Covenant shall remain valid and enforceable to the fullest extent permitted by the law.
4. This Restrictive Covenant is in addition to the requirement of the municipal or other government authorities having jurisdiction in respect of the use of the Lands, and nothing contained herein shall be construed as permitting or authorizing anything which is prohibited,

controlled or regulated by any statute, bylaw, regulation or like enactment having the force of law and having application to the Lands.

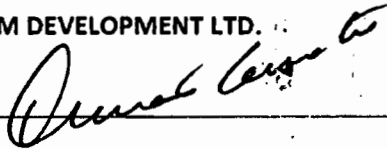
- 5. Nothing herein shall require or oblige the Grantor to enforce this Restrictive Covenant or render the Grantor liable for the failure of any of the registered owners from time to time of the Lots to adhere to or conform with the Restrictions contained in this Restrictive Covenant, it being the intention to attach to each of the Lots and the owners thereof the obligation for compliance with this Restrictive Covenant.
- 6. The Grantor and Grantee agree that the Association is party to this Agreement with full rights to enforce all obligations of the Grantor hereunder and has an interest in ensuring on behalf of all of the Grantees its implementation and the Grantor and Grantee further covenant and agree with the Association that:
  - (a) no amendment or change will be made to the terms of this Agreement without obtaining prior written consent from the Association, such consent not to be unreasonably or arbitrarily withheld or delayed; and
  - (b) this Agreement will not be discharged without obtaining prior written consent from the Association.
- 7. The Restrictions contained in this Restrictive Covenant shall be binding upon and enure to the benefit of the registered owners from time to time of each of the Lots and the restrictions herein shall run with the Lands and each of the Lots comprising the Lands.

IN WITNESS WHEREOF CANCOM DEVELOPMENT LTD. AND 1886290 ALBERTA LTD. AND ROYAL OAKS LEDUC COUNTY HOMEOWNERS ASSOCIATION have executed this Restrictive Covenant this 6 day of July, 2015.

  
\_\_\_\_\_

CANCOM DEVELOPMENT LTD.

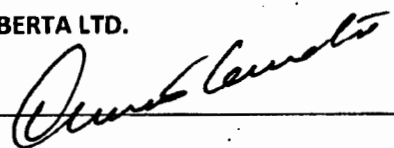
Per: \_\_\_\_\_



*seal*

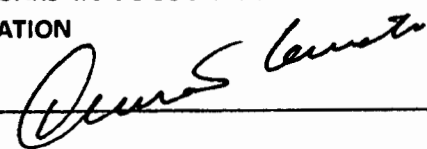
1886290 ALBERTA LTD.

Per: \_\_\_\_\_



ROYAL OAKS LEDUC COUNTY HOMEOWNERS ASSOCIATION

Per: \_\_\_\_\_



**AFFIDAVIT VERIFYING CORPORATE SIGNING AUTHORITY**


Form 31.1  
Land Titles Act  
Section 161

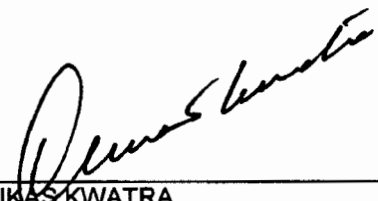
I, Vikas Kwatra, of the City of Edmonton, in the Province of Alberta, MAKE OATH AND SAY THAT:

1. I am an officer or a director of **1886290 ALBERTA LTD.** (the "Corporation") named in the within or annexed instrument.
2. I am authorized by the Corporation to execute the instrument without affixing a corporate seal.

SWORN BEFORE ME at the City of Edmonton, in the Province of Alberta, this 6 day of July, 2015.

A Commissioner for Oaths in and for the Province of Alberta

  
**ASHVIN SINGH**  
Student-at-Law

  
\_\_\_\_\_  
VIKAS KWATRA

**AFFIDAVIT OF EXECUTION**

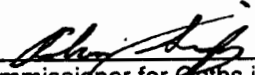
**CANADA**  
**PROVINCE OF ALBERTA**  
**TO WIT:**

I, Jenna Weinkauf, of the City of Edmonton, in the Province of Alberta, MAKE OATH AND SAY:

1. THAT I was personally present and did see Vikas Kwatra who, on the basis of identification provided to me, I believe to be the person named in the within instrument, duly sign the instrument.
2. THAT the same was executed at the City of Edmonton, in the Province of Alberta, and that I am the subscribing witness thereto.
3. THAT I believe that person whose signature I witnessed is at least the full age of eighteen (18) years.

SWORN BEFORE ME at the City of Edmonton, in the Province of Alberta, this 6 day of July, 2015.

Commissioner for Oaths in and for the Province of Alberta

  
**ASHVIN SINGH**  
Student-at-Law

  
\_\_\_\_\_  
JENNA WEINKAUF

**SCHEDULE "A"**

**DISTURBED SOIL RESTRICTIVE COVENANT – DOMINANT LANDS**

PLAN 152 3627

BLOCK 6

LOTS 1-26 INCLUSIVE

EXCEPTING THEREOUT ALL MINES AND MINERALS

**DISTURBED SOIL RESTRICTIVE COVENANT – SERVIENT LANDS**

PLAN 152 3627

BLOCK 6

LOTS 1-26 INCLUSIVE

EXCEPTING THEREOUT ALL MINES AND MINERALS

**DISTURBED SOIL RESTRICTIONS**

1. There shall be no buildings, structures or improvements ("the Improvements") constructed or placed on the Servient Lands:
  - (a) If non-native or disturbed soils are present on the Servient Lands below design footing elevations, without having a pile foundation or such other foundation as may be approved by a qualified professional engineer prior to the commencement of the Development;
  - (b) unless the design of all foundations shall include specific requirements for suitability of soil composition and soil stability and shall have such design approved by a qualified professional engineer prior to commencement of the Development; and
  - (c) unless all foundation excavations shall be inspected by qualified geotechnical personnel prior to commencement of the construction of the foundation.

SCHEDULE "B"

FENCING RESTRICTIVE COVENANT – DOMINANT LANDS

PLAN 152 3627  
BLOCK 6  
LOTS 1-26 INCLUSIVE  
EXCEPTING THEREOUT ALL MINES AND MINERALS

FENCING RESTRICTIVE COVENANT – SERVIENT LANDS

PLAN 152 3627  
BLOCK 6  
LOTS 1-26 INCLUSIVE  
EXCEPTING THEREOUT ALL MINES AND MINERALS

FENCING RESTRICTIONS

The Grantor shall not to remove, replace or change in any way the colour, type or appearance of any rear or flankage fence constructed by the Grantee nor remove any wires, lights or appurtenances attached to the fence, nor permit the fence to fall into, or at any time remain, in a state of disrepair and shall paint and restore the surface of the fence in the same colour as required from time to time.

SCHEDULE "C"

STAGE 4 ARCHITECTURAL RESTRICTIVE COVENANT – DOMINANT LANDS

PLAN 152 3627

BLOCK 6

LOTS 1-26 INCLUSIVE

EXCEPTING THEREOUT ALL MINES AND MINERALS

STAGE 4 ARCHITECTURAL RESTRICTIVE COVENANT – SERVIENT LANDS

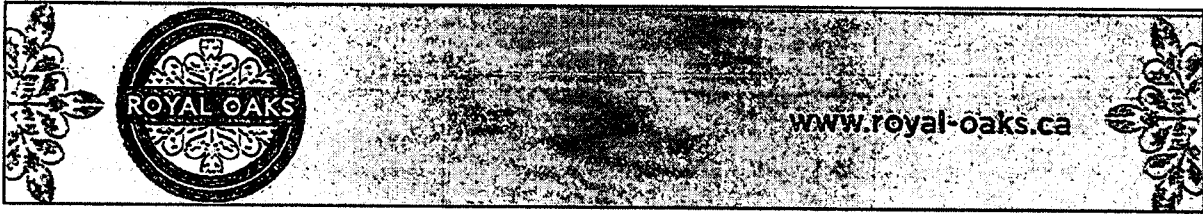
PLAN 152 3627

BLOCK 6

LOTS 1-26 INCLUSIVE

EXCEPTING THEREOUT ALL MINES AND MINERALS





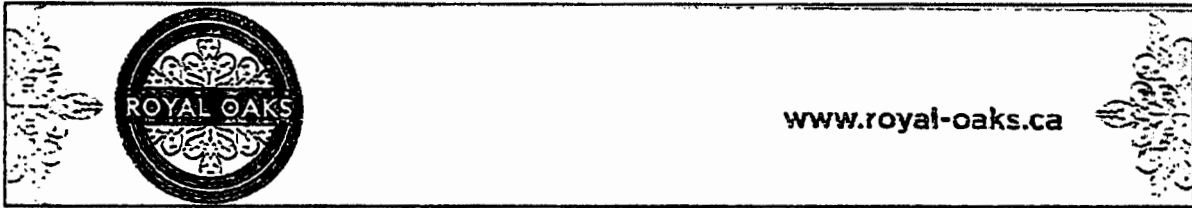
**SCHEDULE "D" TO ROYAL OAKS STAGE 4  
RESTRICTIVE COVENANT**

**ROYAL OAKS - UPPERWOODS  
Stage 4**

**Architectural Guidelines**

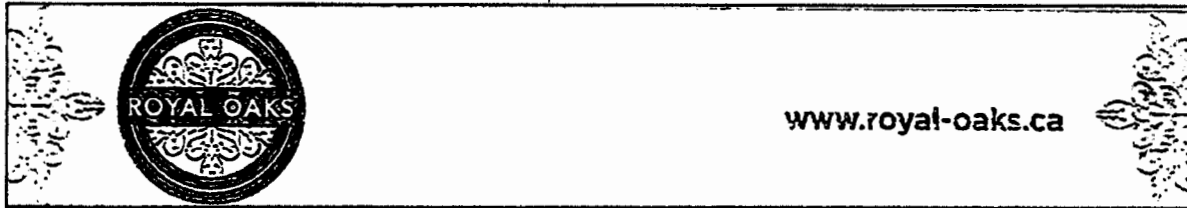
**July 2015**

**Block 6, Lots 1 - 26**



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## **1.0 Purpose of Guidelines**

These guidelines have been created to assist the home owner with the design of their home and to ensure the quality and esthetic of the neighborhood is visually cohesive, and the overall neighborhood vision is maintained. The goal is to protect the interests of all who reside at Upperwoods at Royal Oaks.

### **1.1 Approval Process**

#### ***Submissions***

An application must be submitted to the designated Consultant as follows:

- a) One complete set of house plans; 1/4" or 3/16" = 1"
- b) Two copies of the plot plan, prepared by Pals Surveys, 1:300, showing lot house grades and drainage pattern, floor and garage elevations; and
- c) 1 completed application form  
Material and color samples as required
- d) Electronic submissions are recommended

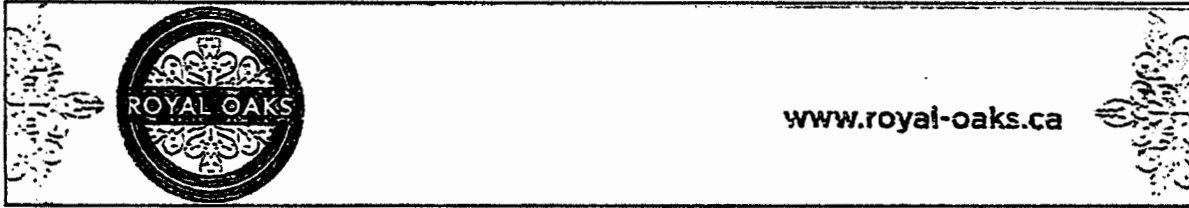
Incomplete applications cannot be processed. An application is deemed to be received on the date that it is complete in its entirety.

A copy of the application form and final approved plans will be provided to the builder upon approval. The original application form and one set of similarly marked prints will be kept for future reference by the Designated Consultant.

Any changes by the builder from approved plans must be submitted to the Developer or its Designated Design Consultant and approved in writing.

#### **Please forward submissions to:**

WINDWARD LANDTEC INC.  
12128 - 121A Street  
Edmonton, Alberta  
Canada T5L 0A4  
Phone: (780) 454-6799 Fax: (780) 454-6896  
Email: [info@windwardlandtec.com](mailto:info@windwardlandtec.com)  
[www.windwardlandtec.com](http://www.windwardlandtec.com)



### **1.2 Damage Deposit**

A damage deposit or Letter of Credit in the amount of \$5,000.00 (regardless of the number of lots) is due prior to house plan and grade approval to cover;

1. Contravention of architectural guidelines.
2. Possible damage to infrastructure, servicing and amenities on and surrounding the lot.
3. Completion of landscaping requirements.

### **Disputes**

Individual concerns will be adjudicated by Cancom Development Ltd., Upperwoods at Royal Oaks, and their decision will be final.

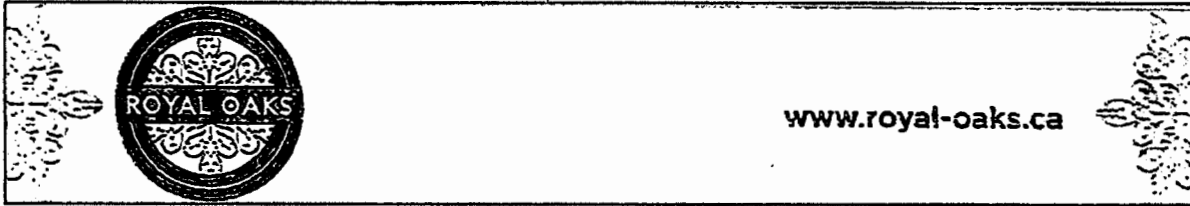
## **2.0 Security Deposits**

### **2.1 Lot Inspections**

The builder/property owner will be responsible for damages to infrastructure, servicing and amenities on and surrounding the lot. Accordingly, each builder/property owner shall inspect the conditions of curbs, sidewalks, streetlights, services etc. on his lot and must submit written notice of any damages to the Developer. Upon entering a sales agreement for the lot, a thorough inspection should be undertaken to include the following items:

- Curb stop-water valve
- Sidewalks, curbs and gutters
- Driveway aprons and asphalt
- Boulevard landscaping and trees
- Rear gutters and walkways
- Light standards
- Fire hydrants
- Cathodic protection points
- Grading and drainage swales
- Fencing
- Utility boxes

A LOT INSPECTION REPORT, attached as "Schedule 1", must be completed and returned to Cancom Development Ltd. within seven (7) days of the lot purchase or any and all lot damages will be assessed to the purchaser.



## **2.2 Release of Security Deposit**

Deposits will only be released to the company listed on the Purchase Agreement.

Security deposits will not be returned until Final Acceptance Certificate (FAC) is granted to the Developer by the municipality.

Prior to FAC an inspection is conducted. Any damages to improvements will be noted and repaired at the cost of the builder or property owner, unless otherwise noted on the required Lot Inspection Report.

If the Lot Inspection Report is not completed, the damage will be deemed the builder's or property owner's responsibility, and the cost will be deducted from the Security Deposit.

## **2.3 Release of Landscaping/Architectural Deposit**

The \$5,000 Architectural and Landscaping deposit will be released to the builder upon satisfactory completion of the house as per the architectural approval. To initiate an architectural inspection, the following must be completed:

- Final grading certificates and approved grading inspection report from Leduc County
- Landscaping completed as per the landscape guidelines
- Water valve exposed and marked
- Sidewalks, street, gutter and curbs in clean condition
- Written request to Windward Landtec to conduct the inspection

The Developer must be in receipt of the following for the release of deposit:

- Final grading approval (from Leduc County)
- Final inspection report by design Consultant outlining as-built conformance with the architectural guidelines and approved house plans
- Final inspection by designated Design Consultant for report of damages to municipal improvements
- Inspection of the completion of all landscaping requirements
- Damage Deposits will not be released until all applicable Final Acceptance Certificates from the municipality have been received by the Developer.

Once the final inspection is complete, a report will be sent to the Developer. The builder or owner will be notified of any deficiencies and will be given a time frame in which to correct the deficiencies. Upon receipt of an approved final inspection, the builder or owner must contact the Developer for release of the Architectural and Landscaping Deposit.

Builder may assign deposit release to their customers by providing a letter of authorization to the Developer.

### 3.0 Design Vision of Upperwoods at Royal Oaks

The design vision for Upperwoods at Royal Oaks represents a contemporary modern esthetic. This is achieved by using materials, colors and forms that create a sense of modern urban living, in a unique suburban environment. The contemporary vision for the individual house facades will be achieved through simple forms and well proportioned elements combined with a controlled use of materials and colors as indicated by the images below. These two forms are referred to in these Design Guidelines as Prairie Modern and Contemporary Modern. All renderings in this document are inserted to demonstrate the intent of the design as it applies to semi-detached front drive housing forms in Upperwoods.

By following these guidelines the home owner will find a varied palette of materials, textures, colors and design elements to create their own personalized home.



**PRAIRIE MODERN**



**CONTEMPORARY MODERN**

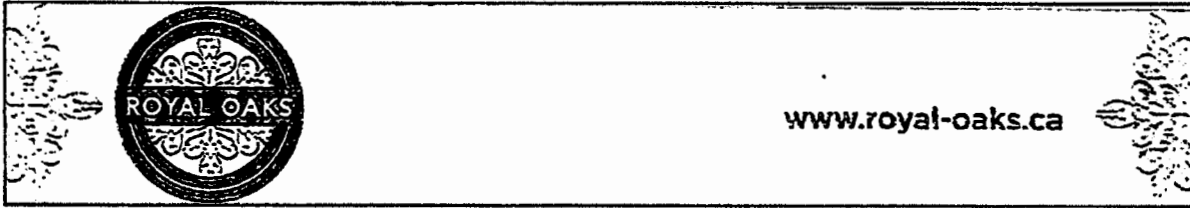
#### 3.1 Facade Design

##### **Objectives:**

- To ensure the homes are modern in esthetic and form by using modern design features and materials, and excluding traditional elements and decoration.
- To utilize traditional and modern materials in non-traditional, creative applications.
- To create a well-defined and balanced, inviting front facade that connects the home to the surrounding landscape and street interface by incorporating the prescribed materials and design features outlined in the Design Guide.
- To create an inviting entrance by utilizing the front step material and form to complement the overall facade and front door arrangement.
- To incorporate the design features to enhance the facades that have high visibility from park areas, storm ponds, greenbelts, and corner lots.

##### **Controls:**

- Each home should have a visible front entry that faces the street.
- Angled entrance features will be allowed at the discretion of the Consultant.
- Homes on corner lots must incorporate the design guidelines to both faces of the facade that front each street and the rear elevation will also require detailing and trim to match.
- Homes that are located on high visibility lots must incorporate the design guidelines to any building facades that face parks, green belts, or are deemed highly visible by the Architectural Review Consultant.



- At a minimum, each dwelling must incorporate one Primary Design Feature and one Secondary Design Feature into the design of each facade or building face deemed highly visible by the Architectural Review Consultant

### **3.2 Roofs**

#### **Objectives**

- To encourage simple, functional, and well-proportioned roof lines to enhance the overall design of the facade and entire home.
- To encourage a range of contemporary roof lines within the streetscape to create an interesting and unique development.

#### **Controls:**

- The Modern Contemporary design permits barreled or simulated barreled roof lines.
- The Prairie Modern theme roof design is limited to a hip or cottage roof throughout the design.
- Flat roofs will be accepted.
- All visible roof pitches must be 3:12 to 5:12 for both Prairie Modern and Modern Contemporary.
- Roof eave overhangs must be a minimum of 24" for Prairie Modern and must be a minimum of 18" for Contemporary Modern. It is recommended where possible to provide a larger overhang to meet the style.
- Roofs must utilize one of the materials and approved colors as listed in the Materials and Colors Chart.
- Terra cotta and clay tile roofs are not permitted.
- Domes, turrets, or spires are not permitted.
- All eaves, soffits and fascia must be a minimum of 8" and complement the roof and the overall facade of the home.
- Fascia and soffit must be prefinished metal or hardi/smart board. Soffit may be sealed wood.
- Other roof pitches/designs may be accepted should they meet the intent of the style subject to the Architectural Consultants approval.

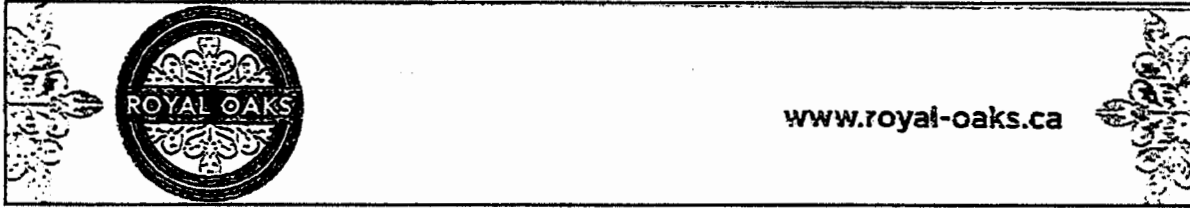
### **3.3 Chimney**

#### **Objective:**

- To encourage materials and form to complement the front or highly visible facade design.

#### **Control:**

- Exposed stainless steel flues will not be allowed on any facade. Exposed direct venting flues will not be allowed on the front facade.



### **3.4 Garage Doors**

**Objectives:**

To allow for a variety of creative garage doors that fit within the Contemporary Modern and Prairie Modern design themes.

- To use the garage door as a design element to add visual interest to the front facade of the home.

**Control:**

- Garage doors must complement the overall facade of the home.
- Traditional panelized or barn door replicas of garage doors will not be permitted for either design theme.
- The color and material of the garage door must complement the front facade design.
- The Architectural Review Consultant may approve a garage door design, material, or color not listed within these guidelines should they meet the design intent of the housing style.

### **3.5 Windows**

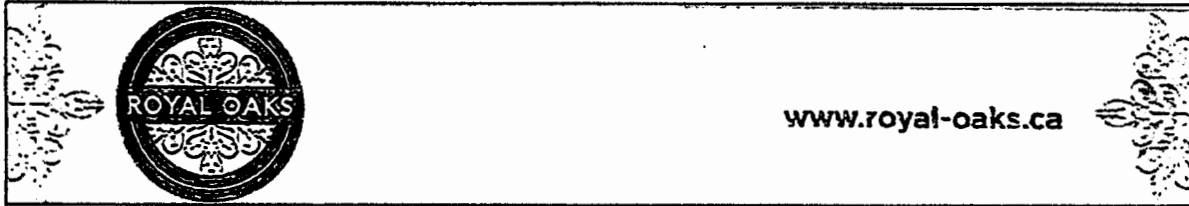
**Objectives:**

- To allow for a variety of creative window design that fits within the Contemporary Modern and Prairie Modern design themes.
- To encourage well-proportioned window placement to enhance the overall facade design.
- To achieve a high level of street interface by utilizing interesting window design.

**Control:**

- Traditional muntin and mullion arrangements throughout the entire window panel will not be permitted for the Modern Contemporary or Prairie Modern design themes.
- Traditional muntin and mullion arrangements to the top third of the window will be permitted for the Prairie Modern and Contemporary Modern design theme.
- Window frames must be complementary in color to the overall selected design theme of Prairie Modern and Contemporary Modern. Black or grey windows are recommended for the Contemporary Modern style.
- White window frames are permitted.
- No half round, quarter round, or palladium window styles will be permitted.
- The Architectural Review Consultant may approve a window design or color not listed within these guidelines.





### **3.6 Primary and Secondary Design Features**

#### **Objectives:**

- To promote a variety of design features to add visual interest and functionality to each home such as entry canopies and pergolas, front step to planter interface, feature screens, sun shades, house address identification, exterior light fixtures and similar visual interest items that may be approved by the Architectural Review Consultant.

#### **Control:**

- Creative front steps that enhance the overall design of the front facade will be encouraged.
- Alternate Primary Design and Secondary Design Features not listed here may be approved at the discretion of the Architectural Review Consultant.
- Each dwelling should include primary and secondary design feature as listed below.

#### **Primary Design Feature**

- Central Feature
- Entry feature
- Wing Wall (Contemporary Modern) or Garage Feature (Prairie Modern)

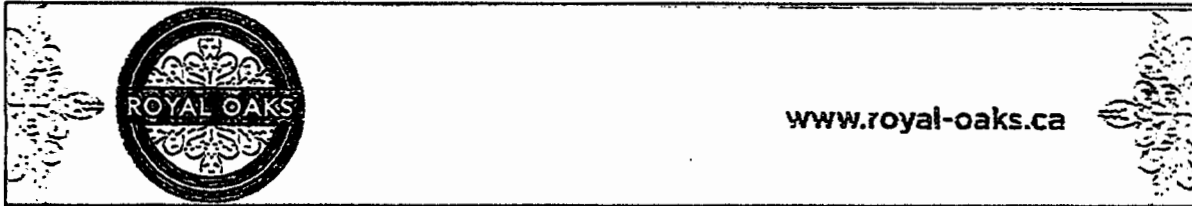
#### **Secondary Design Feature**

##### **Prairie Modern**

- Central Background Feature
- Chimney Feature
- Entry Planter
- Dropped Soffit Feature
- Horizontal Banding Feature

##### **Contemporary Modern**

- Framing Accent
- Screening Feature
- Entry Planter
- Street side Deck
- Background Accent Feature
- Precast front steps may be of plain finish or exposed aggregate
- Wood steps will not be permitted.
- All materials used to construct design features must be complementary in color and form to the overall design of the front facade.



- Ornamentation must be contemporary in design and complement the home. No historical styles or details will be permitted e.g. Arches, decorative columns, animal ornaments, intricate mouldings etc.

#### **4.0 House Address Identification**

House address identification must be graphically complementary in scale, color and material to the overall design of the front facade. Please refer to the Contemporary Modern and Prairie Modern Design Process Graphics for more information.

#### **5.0 Materials**

**Objectives:**

- To encourage the use of materials with proper scale and proportion to create an interesting modern facade.
- To promote the controlled variety of the neighborhood esthetic.

**Controls:**

- Please refer to the Materials Chart for approved material selections.
- Unacceptable Wall Materials
  - Raw wood siding
  - Wood shakes
- Exterior walls that do not make up a front facade must be designed with complementary materials and colors.
- The primary material on the front façade of the Contemporary Modern style may be vinyl siding but must be incorporated with other contemporary modern design features to reflect the Contemporary Modern theme.
- A combination of approved complementary materials and colors must be used to all walls that face a street or a park. A maximum of 4 materials may be used per wall face.
- Alternate Materials not listed here may be approved at the discretion of the Architectural Review Consultant.
- Primary and secondary design features of the facade should not include vinyl.

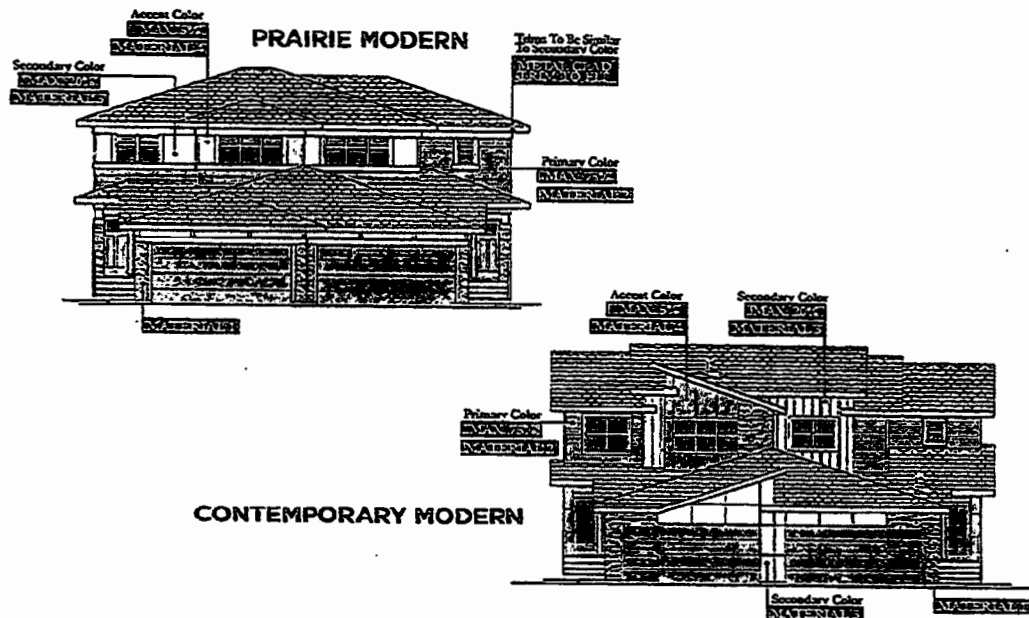
#### **6.0 Colours**

**Objectives:**

- To promote a controlled variety of colors that complement each home and fit within the context of the block and the neighborhood.

**Control:**

- Please refer to the Color Chart for approved color selections.
- Please see schedule III for approved standard vinyl siding colors
- Overly bright or fluorescent colors will not be approved.
- 1 primary and 2 accent colors are required
- Accent colors should be used on the primary and secondary design feature components. Please see schedule IV and V for details
- No facade may be comprised of 100% color.
- Percentages are a guideline only. Alternative arrangements may be considered subject to the Design Consultants Approval.
- The front facade will be a maximum of 4 colors
- All color schemes must be approved by the Architectural Design Consultant.



## 7.0 House Widths

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately and logically to the lot width and neighboring houses.

The minimum house width shall be within 2' of building pocket.



Homes will be reviewed on their individual merits of design, massing, proportion, and compatibility and, where the Architectural Consultant considers the plan to be exceptional, and, provided that the house conforms to the general trend of the neighborhood, exceptions may be considered.

### **8.0 Site Planning and Grading**

Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass as much as possible. Lot grading must be in strict conformance with the approved grading plan for the subdivision. For lots with a more dramatic change in terrain such as walk out basement lots, there may be a requirement for special terracing and/or retaining walls. The purchaser shall be responsible for the design and construction of such retaining structures and must ensure design grades and lot drainage is not compromised.

Special attention is to be given the treatment of exposed concrete foundation walls. A maximum of 2' of parged concrete will be permitted on all elevations of the homes. Variation in grade and basement design may require cladding material be lowered or extended to within 2' of ground level.

Front entry steps are to be a maximum of 4 risers per set. Where the grade calls for more than four risers, the run must be split. Exceptions to this requirement may be granted in consideration of unique design, topography and lateral bracing concerns.

Homes will be reviewed on their individual merits of design, massing, proportion and compatibility and, where the Architectural Consultant considers the plan to be exceptional, and, provided that the house conforms to the general trend of the neighborhood, exceptions may be considered.

### **9.0 Driveways and Garages**

Lots must, at a minimum, include a double front attached garage and must be located in accordance with the garage location plan. Driveways and front walks may be constructed of concrete, including plain, stamped and colored concrete, colored concrete pavers and exposed or washed concrete. Where colored concrete or pavers are utilized, the color must be expressly approved.

The driveway is not to exceed the width of the garage to the garage front where the width may then flare to include a walkway to the front and or rear yard. A wider driveway may be considered if it can be demonstrated that it does not compromise drainage nor detract from the streetscape and landscaping standards.

A height of 18" should be maintained between the overhead garage door and the eave line. Where the height exceeds 18", special detailing may be required.



## **10.0 Landscape Guidelines**

Owners must comply with standards for landscape development contained in the Leduc County Land Use Bylaw. Landscaping of the unit must be completed within twelve (12) months from substantial completion of dwelling construction.

### **10.1 Landscaping**

At a minimum, one tree and a prepared shrub bed containing at least 6 shrubs at a minimum 6" height or spread. Full sod in the front yard to the curb is also required. A prepared bed is defined by edging (landscaping vinyl, brick, concrete, etc.) with wood chip mulch or ground cover.

Low maintenance, low water use landscaping in the front yard will be considered, but will require submission of detailed plans for approval prior to construction. The use of hard surface landscaping rather than sod will require the planting of additional trees and extensive shrubbery, to visually soften the hard surface and achieve greenery. The minimum tree and shrub requirement must be maintained and generally must be increased to offset the hard landscaping elements.

In the case of corner lots, the front yard shall include the flanking sideyard to the sidewalk, curb or boulevard and to the point parallel with the rear property line.

The trees are to be a minimum of 2" caliper for deciduous trees or 6' tall for evergreen trees. Measurement for caliper size will be taken 6" above ground. Smaller sizes will not be accepted.

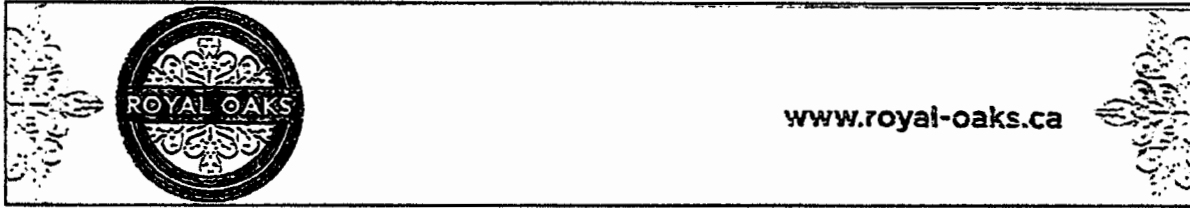
### **10.2 Fencing**

Fencing is to be coordinated in both design and color, and must be constructed according to the details attached in "Schedule II" for six foot high wood screen fence on side and rear yards. The approved color is Deep Charcoal by Cloverdale Paints. Fences forward of the front of the house are not permitted.

### **10.3 Front Walks**

Front walks shall be constructed of concrete, including plain, stamped and colored concrete, colored concrete pavers and exposed or washed concrete. Where colored concrete or pavers are utilized, the color must be expressly approved by the design Consultant.

Front walks shall be a minimum of 914mm (36" inches) wide.



## **11.0 Facade Repetition within the Streetscape**

### ***Objectives:***

To avoid facade repetition within the streetscape

### ***Control:***

No more than three buildings of either Contemporary Modern or Prairie Modern design theme may be consecutive on any one block. Exceptions to this guideline may be allowed at the discretion of the Consultant.

The same elevation may not be repeated within 1 building on either side, or directly across the street, unless the elevation is a different design theme.

In the event 2 dwellings have been submitted for approval and have the same facade design, the first submission will be approved, and the second submission will have to meet the criteria as described above.

The Architectural Review Consultant will have the right to deny application should they deem any 2 dwellings too similar within the prescribed distance.

## **12.0 Subdivision Appearance**

### ***12.1 Signage***

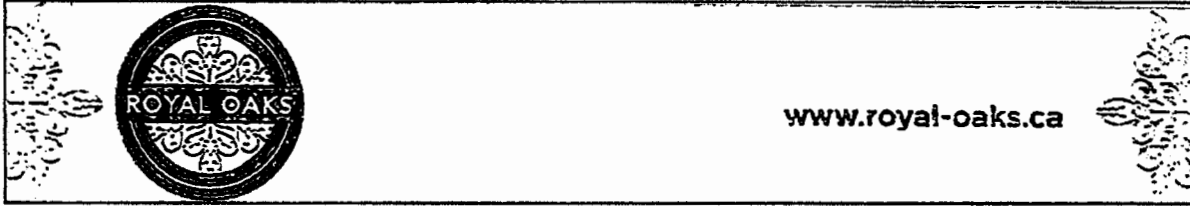
In order to maintain cohesiveness for signage within the subdivision, all signage will be supplied by the Developer. Builder signage will be allowed on a builder's lot only; no home builder or contractor signage will be allowed on medians or boulevards.

### ***12.2 Excavation Material***

Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, land, sidewalk or neighboring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses.

### ***12.3 Clean Up***

Builders should encourage timely removal by all sub trades of litter on building sites. Failure to comply will result in a clean-up bill being charged to the lot. Supply of bins by the Builder is MANDATORY. Any general clean up of the subdivision initiated by Cancom Development Ltd. can and will be charged pro-rata to all builders.



## **13.0 Other Important Guidelines**

### **13.1 Sump Pumps**

All sump pump discharge must be connected to the storm sewer system. Weeping tiles should NOT be connected to the sanitary sewer. Weeping tiles should drain to a sump pump and the flows will be discharged to the storm sewer system by means of a sump pump. This configuration should comply with Municipal and Provincial standards.

### **13.2 Downspouts**

Downspouts must be directed away from the house to streets or rear drainage structures. Storm water must not be directed onto adjacent lots.

### **13.3 Roof Leader Requirements**

The builder should refer to the approved engineering drawings to determine any roof leader requirements.

## **14.0 Environmental Performance, Utilities and Services**

Solar Panels are allowed within the development. The placement of the panels will be reviewed to ensure thoughtful positioning with neighbouring homes in mind.

Satellite dishes or antennas must not be visible from the street and must be screened from view.

Recreational vehicles may not be parked in front of any residence for longer than 72 hours.



## **Homeowners Association**

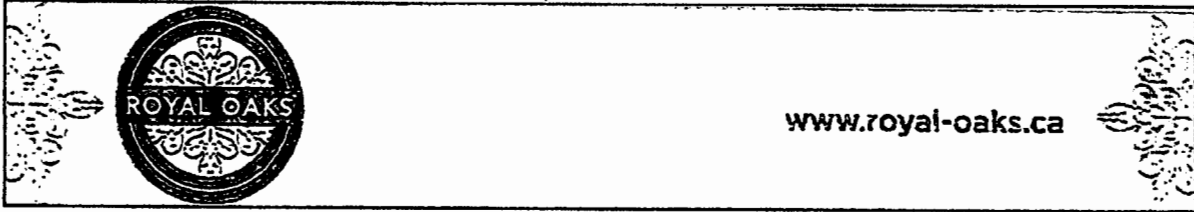
Until such time as the Developer chooses to turn over full authority to the Royal Oaks HOA for the enforcement of the Architectural Guidelines with regard to a particular phase of the Royal Oaks development program, such time being determined solely at the Developer's discretion, the HOA will have no authority regarding or involvement in the oversight or management of any aspect of the Architectural Guidelines, nor will the HOA be entitled to require compliance with any provision of the Architectural Guidelines.

Once the turnover of authority from the Developer to the HOA has occurred with regard to a particular phase of the Royal Oaks development program, all references to the Developer in the Architectural Guidelines, with regard only to the phase or phases, for which authority has been turned over, will be understood to be referring to the HOA.

Upon turnover of authority to the HOA, the HOA may grant relaxation of the Architectural Guidelines, with regard only to the phase or phases of the Royal Oaks development program for which authority has been turned over to it by the Developer, in accordance with the procedures set forth in the HOA Articles of Association.

**The information contained herein is intended as a guide. Neither the Developer nor its designated Consultant shall have any liability whatsoever for any defect or lack of suitability in any of the materials or products suggested by or required by these guidelines. The Developer and its designated Consultant make no representation or warranties as to the accuracy or completeness of this information. The enforcement of these guidelines and interpretation of same shall be at the sole discretion of the Developer and their designated Consultant who reserves the right to grant relaxation of these guidelines without notice. Royal Oaks and its Consultants reserve the right to waive or vary any of the procedures, requirements or standards set forth at its discretion without recourse to the owner(s) on liability.**





**Schedule 1**

**CANCOM DEVELOPMENT LTD.  
Lot Inspection Report**

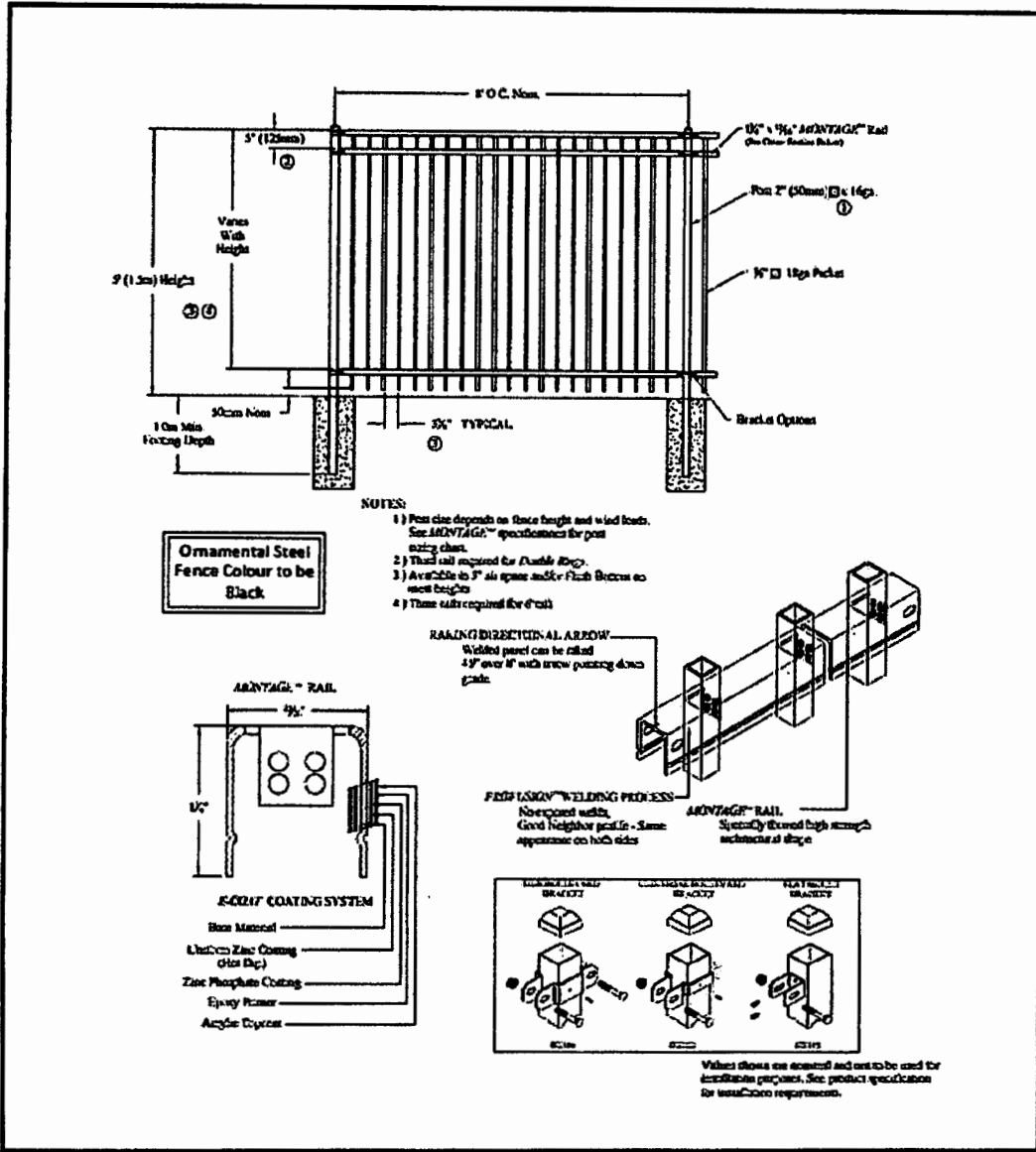
This Lot Inspection Report is to be completed and faxed to \_\_\_\_\_  
within SEVEN (7) days of lot purchase.



Date of Inspection \_\_\_\_\_  
Subdivision \_\_\_\_\_  
Builder/Purchaser \_\_\_\_\_  
Lot \_\_\_\_\_  
Block \_\_\_\_\_  
Plan \_\_\_\_\_

**Inspection of Municipal Improvements**

Sidewalk \_\_\_\_\_  
Curb \_\_\_\_\_  
Water Service Valve \_\_\_\_\_  
Swale \_\_\_\_\_  
Boulevard Landscaping \_\_\_\_\_  
Light Standard/ Communication Pedestal \_\_\_\_\_  
Comments \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

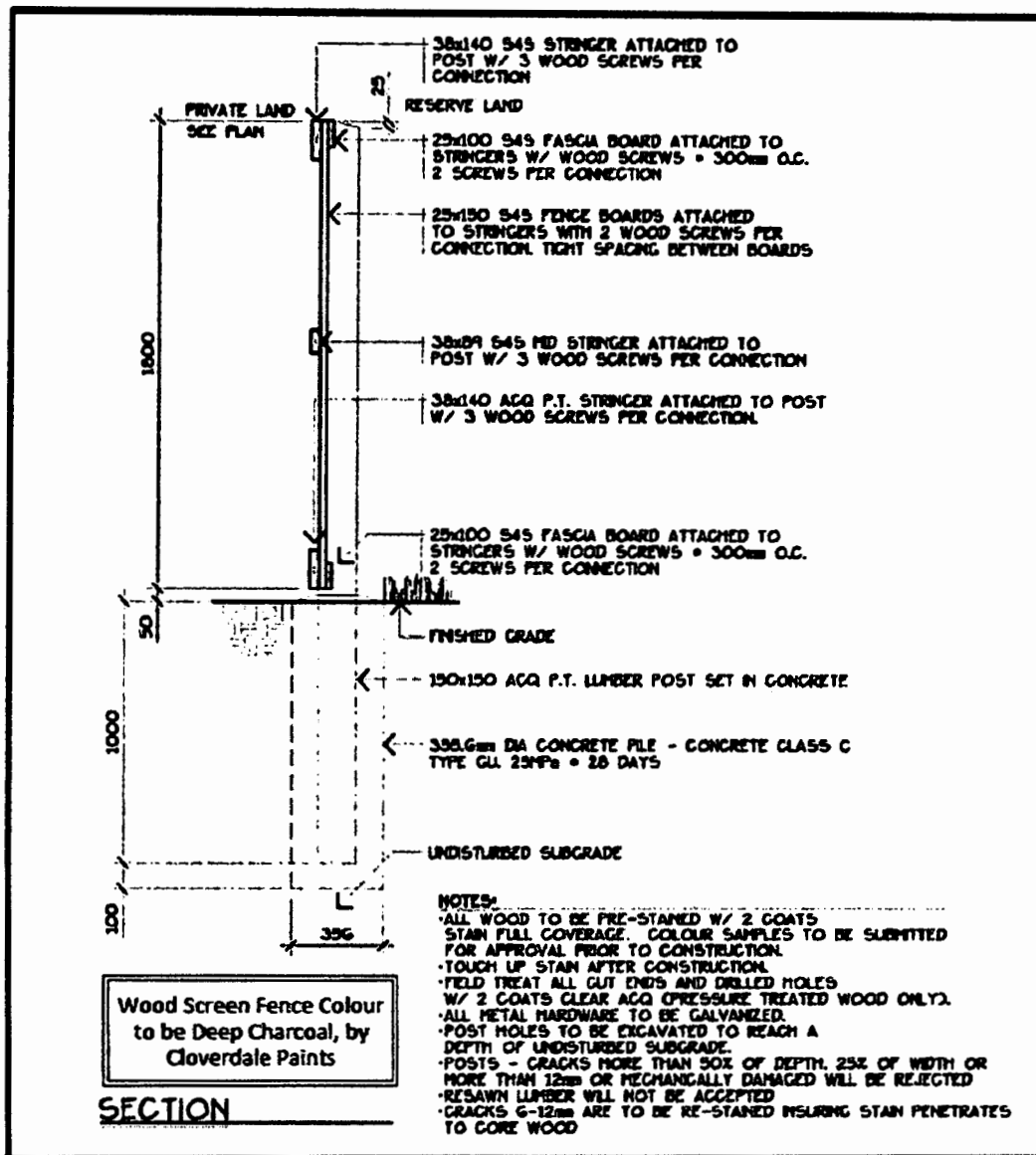
### Attachment - Fencing Details



	<b>TITLE</b> Royal Oaks Ornamental Steel Fence Detail	
<b>DRAWN BY:</b> SLM	<b>DATE:</b> July 11, 2014	<b>SCALE:</b> nts
		<b>DWG.</b>

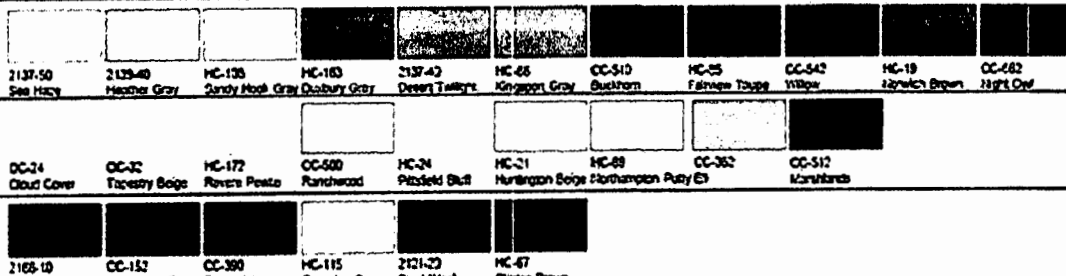


Fencing Details (continued)



	TITLE: <b>Royal Oaks</b> <b>Wood Screen Fence Detail</b>	
	DRAWN BY: SLM      DATE: July 11, 2014      SCALE: nts      DWG.	

### Attachment - Graphic Reference

Design Component	Approved Materials/Profiles/Textures and Colors										
<b>Roof Material</b>	<b>Asphalt Shingle</b> IKO Asphalt Shingle or similar. <b>Approved Colors:</b> - Charcoal Grey - Dust Black - Oakwood	<b>Metal Roofing</b> Kiewit or similar. <b>Profile:</b> Kiewit UltraVc or similar. <b>Approved Colors:</b> - CC 10068 Black - CC 10072 Charcoal - CC 10077 Cocoa Brown	Divers or similar. <b>Approved Colors:</b> - Canyon Brown - Midnight Espresso	<b>Slate</b> TriState or similar. <b>Approved Colors:</b> - Onyx Black - Eco Green - Greystone - Mystic Grey	<div style="border: 1px solid black; padding: 5px;"> <b>NOTE:</b>                      The Architectural Review Committee may consider and approve a material, color, profile or texture not listed here. Such materials and colors may be approved based on their merit and design use.                 </div>						
<b>Wall Material</b>	<b>Stone</b> Eldorado Stone or similar. <b>Approved Colors:</b> - Dark Rundle stacked stone - Onyx stacked stone - Bard Springs effervescent - Back Ranche Alpine ledgestone - Back Mountain Alpine ledgestone - Aspen Country ledgestone - Back's Country ledgestone	<b>Brick</b> JLL or similar. <b>Approved Colors:</b> - Small (XL 126 Grayback Smooth - Small (XL 151 Sable Smooth - Small (XL 202 Rustic Granite - Small (XL 213 Chocolate Brown Granite - Small (XL 219 Charcoal Granite - Small (XL 223 Lustran Grey Granite - Small (XL 214 Victoria Grey Granite)	<b>Vinyl Siding</b> Certaineed Monogram 48 or similar. <b>Approved Colors:</b> - Granite Gray - Spruce - Heartstone - Barn Red - Pacific Blue - Sable Brown - Canyon Blend - Timber Blend - Weathered Blend	<b>Cementitious Board</b> James Hardie Siding Products or similar. <b>Approved Colors:</b> - Evening Sun - Monterey Tan - Timber Bark - Mountain Sage - Khaki Brown - Traditional Red - Iron Grey - Chestnut Brown							
	<b>Stucco</b> Acrylic Stucco <b>Approved Colors:</b> see approved color palette for color choices <b>Approved Textures:</b> - Fine Sand Finish - Medium Sand Finish	<b>Metal Cladding</b> Kiewit or similar. <b>Profile:</b> Kiewit 7/8" Corrugated C1830, AD 300, or similar as approved the Architectural Review Committee. <b>Approved Colors:</b> - CC 10068 Tin Red - CC 10072 Charcoal - CC 10071 Stone Grey - AZ 150 Calabrese	<b>Composite Timber Board</b> Partus or similar. <b>Approved Colors:</b> - Aniba - Rust - Copper - Oak - Anjo								
<b>Color Palette</b>											
<b>Primary Colors</b>	2137-50 Sea Hazy	2139-40 Heather Gray	HC-130 Sandy Mist	HC-163 Gray Dusty Gray	2137-42 Dress' Tailor	HC-65 Kingston Gray	CC-510 Buckhorn	HC-05 Falcone Taupe	CC-542 Village	HC-19 Zephyr Brown	CC-682 Night Owl
<b>Secondary Colors</b>	CC-24 Cloud Cover	CC-32 Tapestry Beige	HC-172 Rivers Poets	CC-600 Parchwood	HC-24 Pittsfield Blue	HC-21 Huntington Beige	HC-89 Northampton Putty E1	CC-362	CC-512 Marshlands		
<b>Accent Colors</b>	2168-10 Gold Rush	CC-152 Lustran Red	CC-390 Rusty Red	HC-115 Georgian Green	2121-23 Steel Wolf	HC-47 Clinton Brown					

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