



Royal Oaks Estates Development permit process

Planning & Development
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development@leduc-county.com

Process:	✓ or X
Contact Planning and Development to obtain a plan indicating the building pocket and lot grading.	
Submit this plan to a surveyor for preparation of a plot plan.	
Submit an application for approval pursuant to the Land Use Bylaw. Information required includes: <ul style="list-style-type: none"> • Two complete sets of building plans (one full size and one 11x17") • An 11x17" plot plan identifying lot grades, floor elevations, setbacks and house location prepared by a registered Alberta land surveyor • Color samples of proposed finishes and trim including samples of finishing materials (design consultant will request if required) 	
Submit completed development permit application, which will be processed upon approval of the architectural controls and design. Information required includes: <ul style="list-style-type: none"> • Development permit application form and payment of \$210 fee • Alberta Subdivision & Development Regulation form • Land Title current within 30 days or payment of \$11 fee for a title search 	
Pay deposits for building completion and Infrastructure (\$3,140), landscaping (\$2,094), and lot grading (\$3,140). The total amount payable is \$8,374 and must be collected before a permit can be issued.	
Pay water usage fee (\$367).	
Submit water/sewer line connection and inspection application to connect to the existing water and sewer lines to the safety codes group in Planning and Development.	
Post a temporary address sign (less than 2.0 m ² in size) visible from the road for inspectors and emergency responders until the permanent address sign is placed.	
Submit a surveyor's Real Property Report after the foundation is poured and before an inspection is done, confirming location of foundation and grades. A development officer will review the report to ensure the building is in the approved pocket at the correct elevation.	
Submit a final surveyors' Real Property Report when the project is complete. Leduc County staff will review the real property report, inspect infrastructure, the completed building, and the landscaping.	

** Deposits will be refunded if warranted. Note that final grade must be completed within two years of the issuance of a development permit. The specific tolerance is +/- 50 mm.*

Architectural controls and design guidelines review

Architectural controls and design guidelines registered on title must be adhered to by the individual lot owner. The responsibility is with the lot owner to ensure they construct in accordance with the Royal Oaks and Diamond Estates Architectural Controls and Design Guidelines registered on title.

Site and drainage plan requirements

A site plan <i>must</i> show the following:	✓
North arrow	
Location, identification and dimensions of all existing and proposed developments including but not limited to infill, excavations, landscaping features, buildings, additions, outdoor storage and decks	
Development setbacks from all property lines	
Location of roadways	
Locations of existing and proposed approaches	
<i>If applicable, which of the following are included:</i>	✓ or n/a
Locations of existing and proposed rights of way, easements, pipelines, well sites and utility lines	
Locations of water courses and water bodies including wetlands	
Location of vegetation including tree stands	
Dimensions or vegetation to be removed	
Development setbacks from the top of bank and lakeshores	
Location of proposed parking and loading as per Section 6.9 of the Land Use Bylaw	
Location of proposed landscaping as per Section 6.6 of the Land Use Bylaw	
Location of screening and fencing	
Location of existing and proposed signs	

If a drainage plan is required it <i>must</i> show the following:	✓
Drainage in and around the proposed development	
General lot drainage	

For multi-lot subdivisions and commercial/industrial uses, drainage plans must be drafted by a qualified person (engineer or legal land surveyor).

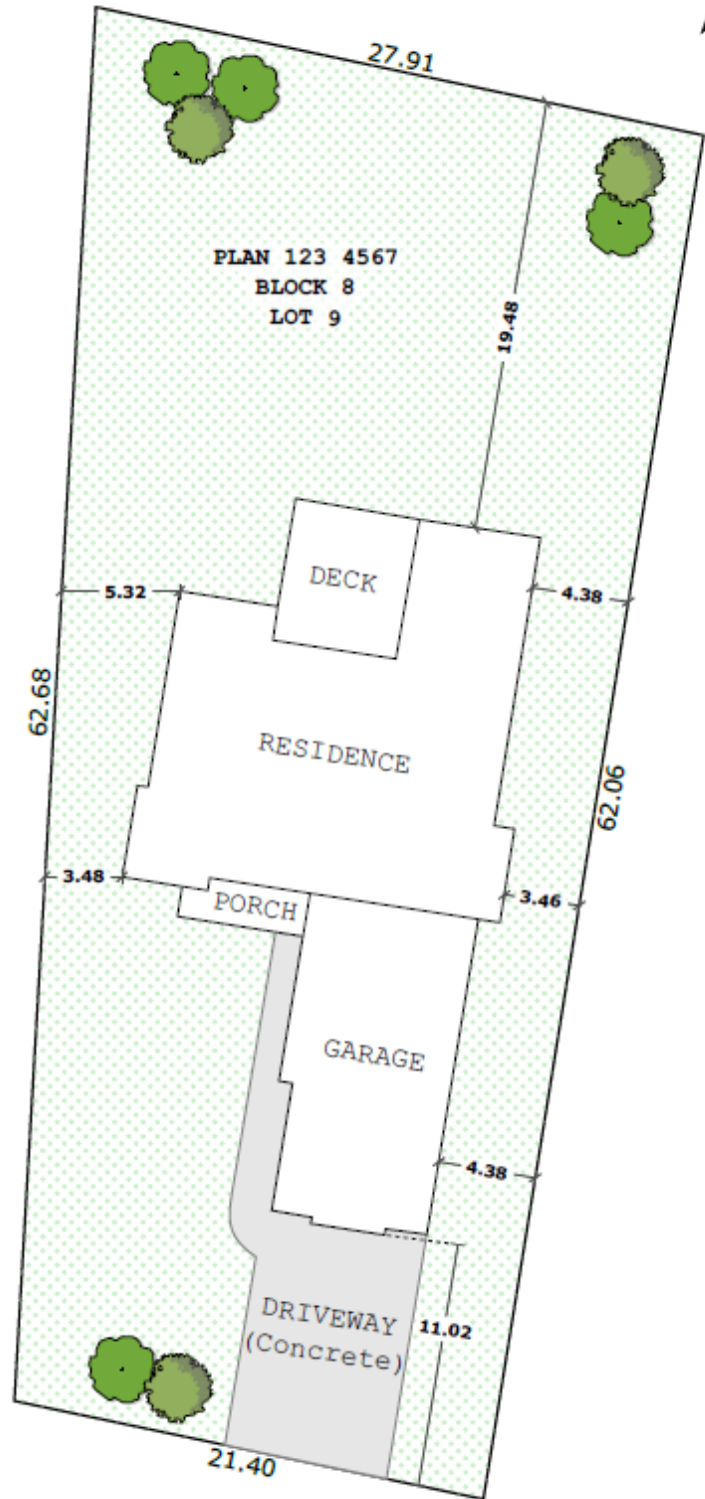
Site Plan Example




Site plan must show the following:

- ✓ All existing and proposed structures
- ✓ Setback distances to front, side and rear property lines
- ✓ Property dimensions
- ✓ Natural features such as trees, watercourses, wetlands, etc.
- ✓ The legal description of the property
- ✓ Surface treatment (gravel, asphalt, concrete, landscaping, etc.)
- ✓ North arrow

For more information about submission requirements, please contact Planning and Development at 780-979-2113.



$\boxed{12.34}$ Property Dimensions (m)	 Building(s) - Existing and Proposed
$\nabla 1.23 \nabla$ Setback Distance (m)	 Natural Features

Drainage Plan Example

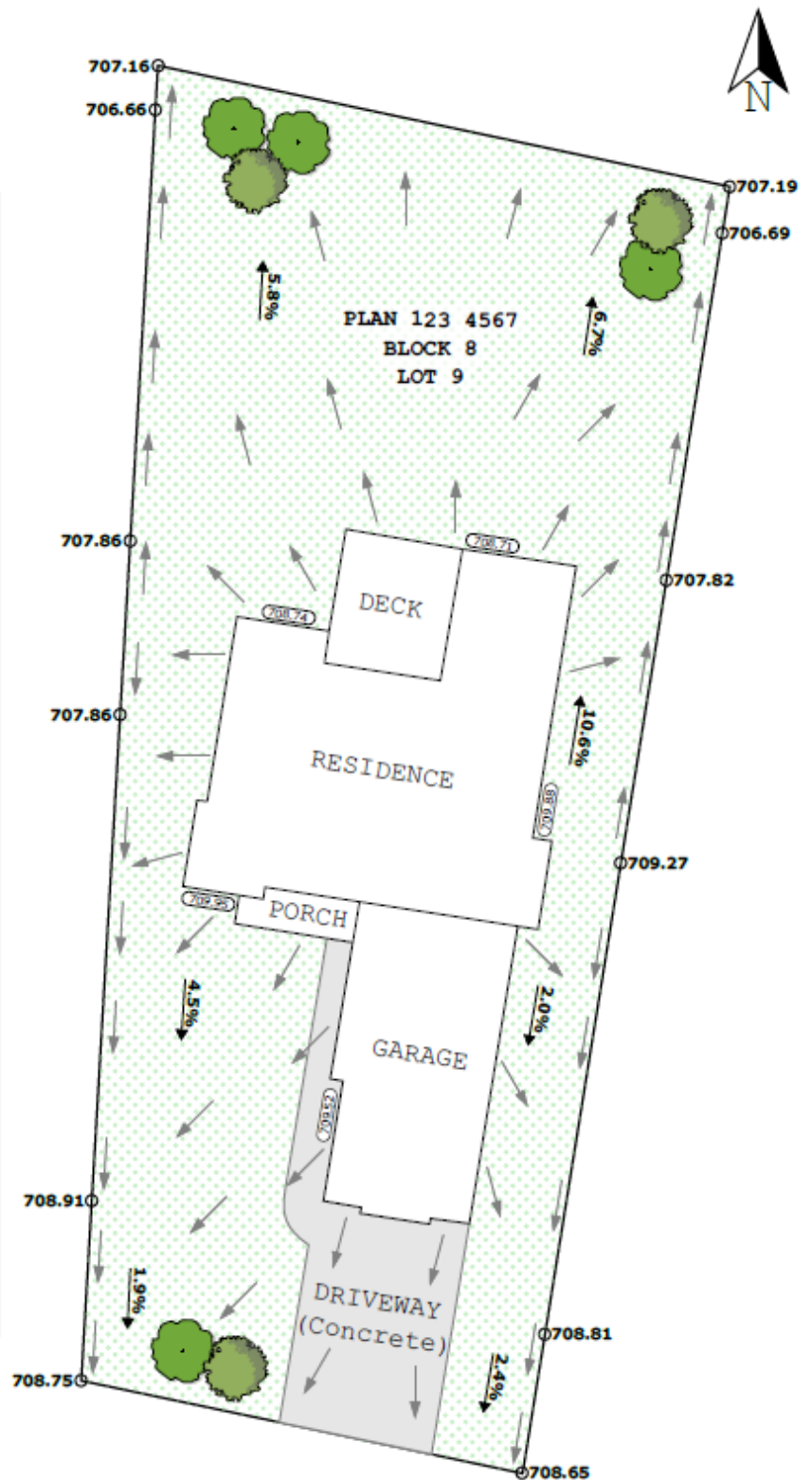


Drainage plan must show the following:

- ✓ All existing and proposed structures
- ✓ Arrows indicating the direction of drainage in the location surrounding the proposed structure(s)
- ✓ The slope of the ground surface
- ✓ Elevation values, including proposed elevations at lot corners and around building perimeters
- ✓ The legal description of the property
- ✓ Surface treatment (gravel, asphalt, concrete, landscaping, etc.)
- ✓ North arrow

Where applicable, drainage plans must correspond with design elevations prescribed under an engineered subdivision drainage plan.

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Drainage Direction	708.0 Ground Elevation (m)	Landscaping Features
1.0% Slope	709.52 Building Elevation (m)	

Fee Schedule

Royal Oaks and Diamond Estates

Application fee

Development permit	\$210
Current title search (if applicable)	\$11
Architectural design approval	\$314
Revised design approval (per submission)	\$157

Permit fees (after approved, but before issued)

Building completion and infrastructure damage deposit (refundable) <ul style="list-style-type: none"> • The County will ensure that any damage to road, water and sewer and other infrastructure as the result of construction is repaired. • The County will ensure that the building has been constructed to the correct architectural standard at the correct elevation. • All driveways must be constructed in accordance with architectural controls and design guidelines of the Leduc County Land Use Bylaw 07-08. 	\$3,140
Landscaping deposit (refundable) <ul style="list-style-type: none"> • Landscaping must meet County requirements in accordance with architectural controls and design guidelines of the Leduc County Land Use Bylaw 07-08. 	\$2,094
Lot grading deposit (refundable) <ul style="list-style-type: none"> • The County must ensure that the final grading is complete to ensure proper drainage in the subdivision. 	\$3,140

Note

Deposits are refunded (\$8,374 deposit eligible for refund) only if the development meets with Leduc County architectural, landscaping and infrastructure standards, and the lot grading plan.

Contact Information:

Planning and Development
780-979-2113

Engineering
780-979-6185

Safety Codes
780-979-2113